

Real Estate Auction

Offered at Noon June 19, 2019
On-Line Only

1100 Barnett Road
Ladysmith, WI



- Former Beechworth Windows manufacturing facility. 74,487 sf building with 8,000 sf very useable mezzanine space, located on 14.45 acres in the Ladysmith Industrial Park.
- Built in 1992 with addition in 1997.
- Features 69,783 sf fully sprinkled manufacturing space and 4,700 sf office space. 5 docks, 4 drive-in doors, ample employee parking and extensive fenced yard for circulation, trailer parking or outside storage. See page 2 for additional information.
- Contact Al Taft at AFT Real Estate, Inc. with real estate questions or to arrange a tour.
- Contact Gary Slager at PPL Group, LLC with any auction related questions or to register to bid. 224-927-5305 or 847-373-9603 Email: gary@pplgroupllc.com

Contact:
Al Taft
or
Don Myers

1324 W. Clairemont Ave. St. 4
Eau Claire, WI 54701-6191
Phone: 715-839-1234
Fax: 715-839-6889
Email: altaft@aftrealestate.com
Website: aftrealestate.com

A·F·T

Real Estate, Inc.

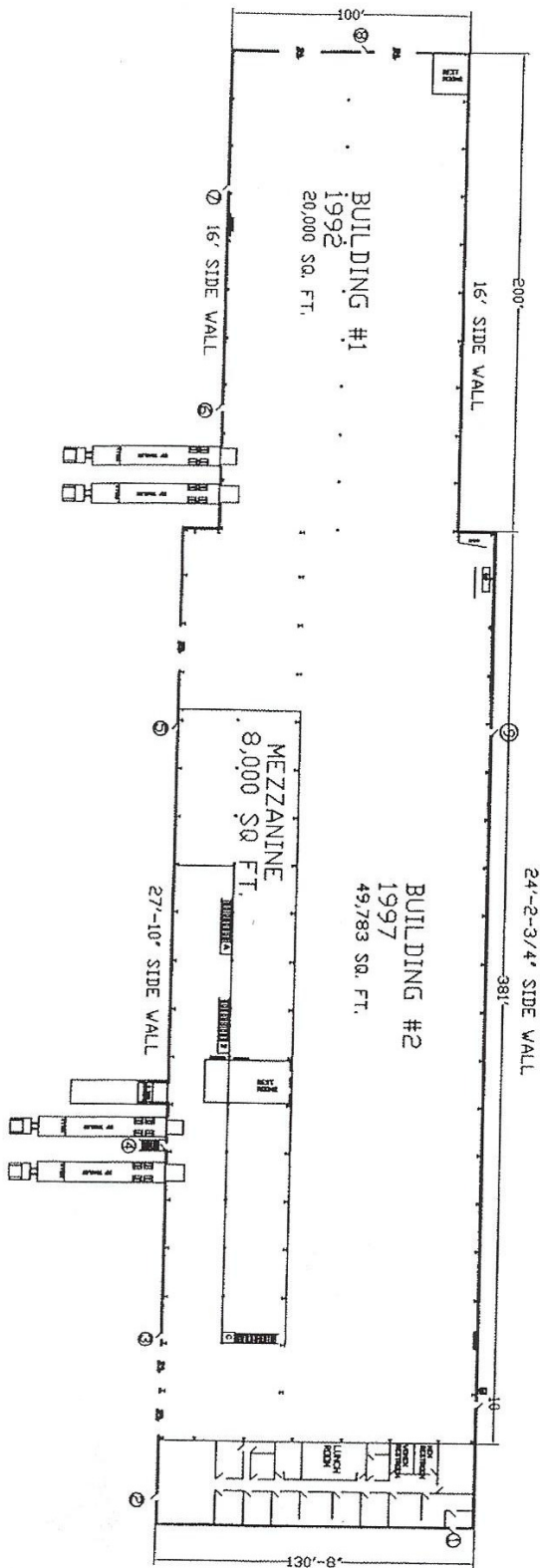
1100 Barnett Road
Ladysmith, WI

Other Building Features

- 20,000 sq.ft. build in 1992 has a gable roof.
- 16' 8" eave height, 14' clear height at side walls, higher in the center.
- 49,800 sq.ft. has 24' eave height on the low side of the single slope roof. 27' on the high side of the roof.
- The single slope design and over-sized lot would allow for easy expansion to the south.
- Infrared radiant heat in the production space.
- Make-up air unit in production area.
- Wet fire sprinkler system.
- 277/480 volt, three phase power, well distributed throughout the plant.
- Air lines in place
- This is a very well designed, well maintained production facility available at a small fraction of replacement cost.







OFFICE
4,704 SQ. FT.

BUILDING #1
1992
20,000 SQ. FT.

BUILDING #2
1997
49,783 SQ. FT.

MEZZANINE
8,000 SQ. FT.

16' SIDE WALL

24'-2-3/4" SIDE WALL

27'-10" SIDE WALL

16' SIDE WALL

130'-8"

200'

391'

10'

10'

10'

10'

10'

10'

10'

10'

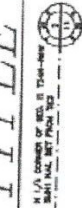
10'

10'

10'

10'

ALTA/ACSM LAND TITLE SURVEY



UTILITIES
 WATER, SEWER, GAS, PHONE, CABLE, TV, FIBER OPTIC, SATELLITE, RADIOTELEPHONE, TELEVISION, RADIO, AND OTHER UTILITIES AS SHOWN ON THE SURVEY MAP.

ELECTRICAL
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

MECHANICAL
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

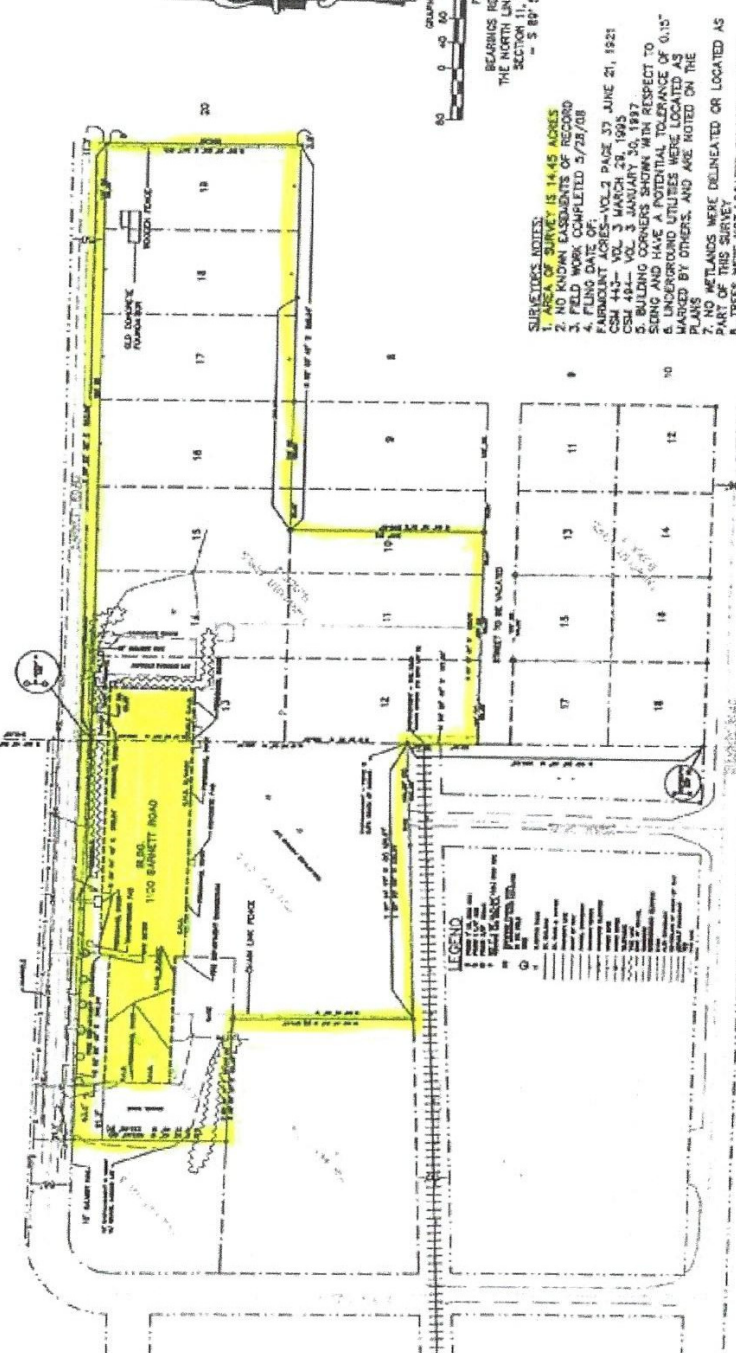
PLUMBING
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

TELEPHONE
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

TELEVISION
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

RADIO
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757

OTHER UTILITIES
 W. L. DUNN, INC.
 1115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757



LEGEND

1	Surveyed Boundary
2	Unsurveyed Boundary
3	Property Line
4	Right of Way
5	Easement
6	Utility Line
7	Other

LEGAL DESCRIPTION
 THE NE 1/4 OF THE NW 1/4 AND THE NE 1/4 OF THE NW 1/4 OF SECTION 11, TOWNSHIP 24, RANGE 6 OF COUNTY OF LAUDER, RUSK COUNTY, WISCONSIN, LOT 2 OF CS# 443, (LOT 3 OF CS# 444 BEING PART OF LOT 2 OF BLOCK 2 FAIRMOUNT ACRES, LOTS 11, 12, 13, 14, 15, 16, 17, 18, 19 & 20 OF

THE SURVEYOR HAS BEEN ADVISED BY THE OWNER THAT THE MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WAS MADE IN ACCORDANCE WITH THE MINIMUM STANDARD LOCAL REGULATIONS AND ADOPTED BY THE BOARD OF SUPERVISORS OF THE COUNTY OF LAUDER, WISCONSIN, AND IN EFFECT ON THE DATE OF THE SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES IN THE REGULATIONS SINCE THE DATE OF THE SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES IN THE REGULATIONS SINCE THE DATE OF THE SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES IN THE REGULATIONS SINCE THE DATE OF THE SURVEY.

SURVEYOR'S NOTES:

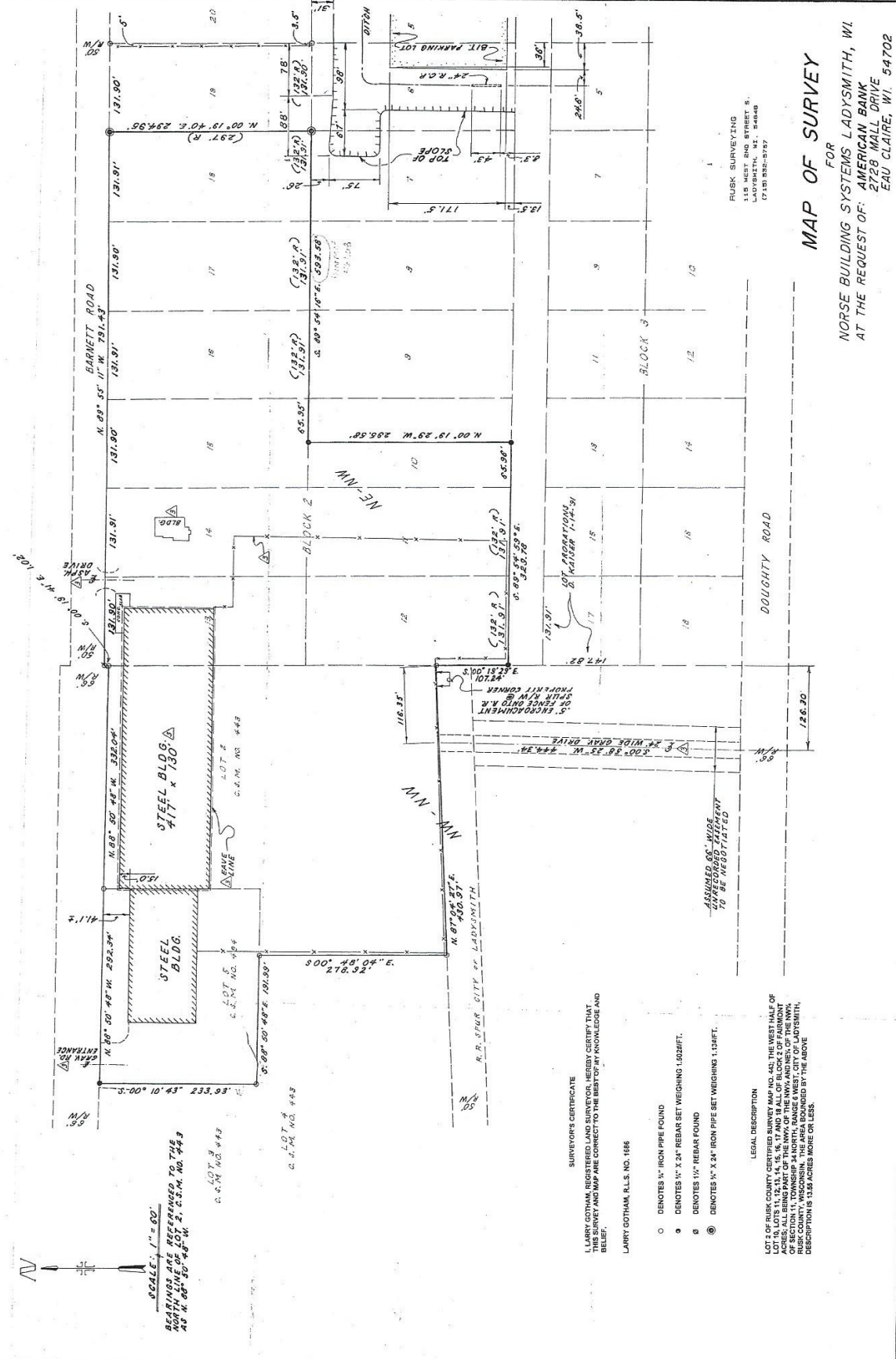
1. AREA OF SURVEY IS 14.45 ACRES
2. NO KNOWN EASEMENTS OF RECORD
3. FIELD WORK COMPLETED 5/28/08
4. FILING DATE OF: 6/10/08
5. RECORDING DATE: 6/10/08
6. BUILDING CORNERS SHOWN WITH RESPECT TO SIGN AND HAVE A POTENTIAL TOLERANCE OF 0.15'
7. UNDERGROUND UTILITIES WERE LOCATED AS SHOWN BY OTHERS, AND ARE NOTED ON THE SURVEY MAP.
8. NO METLINES WERE DELINEATED OR LOCATED AS PART OF THIS SURVEY.
9. TREES WERE NOT LOCATED ON LOT 16, 17, 18 AND 19 OF BLOCK 2 FAIRMOUNT ACRES.
10. THE AREA SURVEYED IS DESIGNATED AS FLOOD HAZARD ZONE 1 ON COMMUNITY PANEL NUMBER CS# 443.
11. EXTRAPOLATION OF UNDETERMINED DATA FROM THE ELECTRONIC VERSION OF THIS DOCUMENT SHALL BE GIVEN THE SAME DIMENSION AS IF IT WERE SCALED FROM THE ORIGINAL PAPER DOCUMENT.

BEARINGS REFERENCED TO THE NORTH LINE OF NW 1/4 OF SECTION 11, TOWNSHIP 24, RANGE 6 OF COUNTY OF LAUDER, WISCONSIN.

CLIENT/OWNER
 SCHOED BROS., INC.
 ONE WEATHER SHIELD PLAZA
 MEDFORD, WI 54451

LOCATION:
 WEATHER SHIELD ASSO., INC.
 1100 BARNETT ROAD
 LADYSMITH, WI 54840

RUSK SURVEYING LTD.
 115 W. 2ND STREET, SOUTH
 LADYSMITH, WI 54840
 715-532-5757



RUSK SURVEYING
 115 WEST 2ND STREET S.
 LADYSMITH, WI. 54640
 (715) 282-3187

MAP OF SURVEY

FOR
NORSE BUILDING SYSTEMS LADYSMITH, WI
 AT THE REQUEST OF: **AMERICAN BANK**
 2728 MALL DRIVE
 EAU CLAIRE, WI. 54702

4-22-97
 REV 5-1-97
 REV 10-24-97

SCALE: 1" = 60'
 BEARINGS ARE REFERENCED TO THE
 NORTH LINE OF LOT 2, C.S.M. NO. 443
 48 W. 80° 50' 48" W.

SURVEYOR'S CERTIFICATE
 LARRY GOTHAM, REGISTERED LAND SURVEYOR, HEREBY CERTIFIES THAT
 THIS SURVEY AND MAP ARE CORRECT TO THE BEST OF HIS KNOWLEDGE AND
 BELIEF.
 LARRY GOTHAM, P.L.S. NO. 1866

- DENOTES 1/2" IRON PIPE FOUND
- DENOTES 1/2" X 24" REBAR SET WEIGHING 1.02LB/FT.
- ⊙ DENOTES 1/2" REBAR FOUND
- ⊗ DENOTES 1/2" X 24" IRON PIPE SET WEIGHING 1.12LB/FT.

LEGAL DESCRIPTION
 LOT 2 OF RUSK COUNTY CERTIFIED SURVEY MAP NO. 443, THE WEST HALF OF
 SECTION 11, TOWNSHIP 24 NORTH, RANGE 4 WEST, CITY OF LADYSMITH,
 WISCONSIN, BEING 13.56 ACRES MORE OR LESS, THE AREA BOUNDED BY THE ABOVE
 DESCRIPTION IS 13.56 ACRES MORE OR LESS.

ASSUMED 60" WIDE
 UNRECORDED EASEMENT
 TO BE RECONSTITUTED

3" ENCROACHMENT
 OF FENCE ONTO R.R.
 SPIN R/W ON 10/10/51

DOUGHTY ROAD

BLOCK 3

NE-MW

BLOCK 2

BARNETT ROAD

STEEL BLDG.
 411' X 100'

STEEL BLDG.

CRK ROAD

CRK ROAD

CRK ROAD

CRK ROAD

CRK ROAD

CRK ROAD

CRK ROAD

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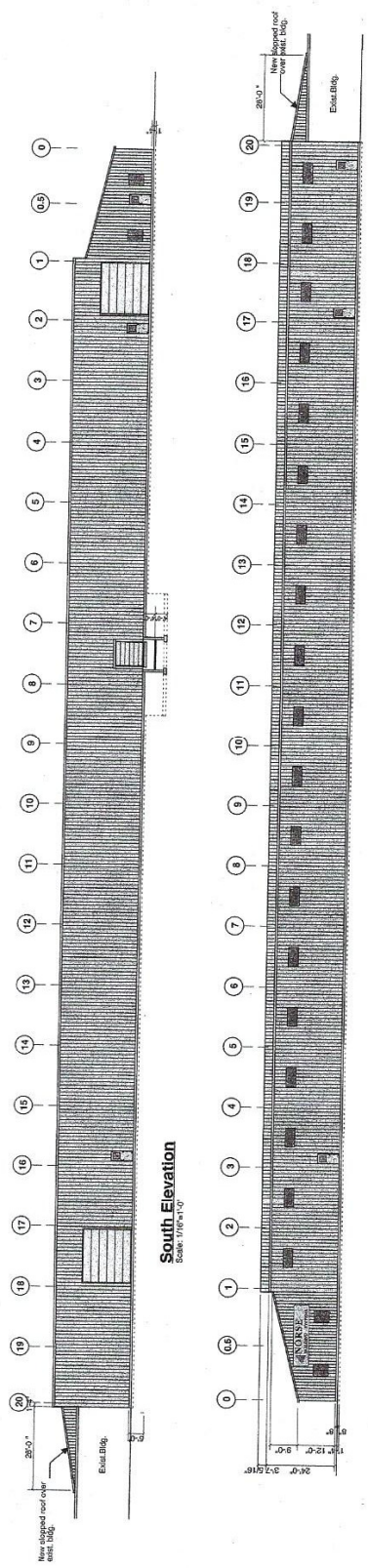
CRK ROAD

CRK ROAD

CRK ROAD

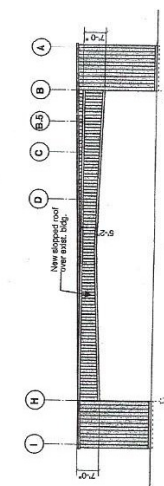
CRK ROAD

Approved for construction by the owner



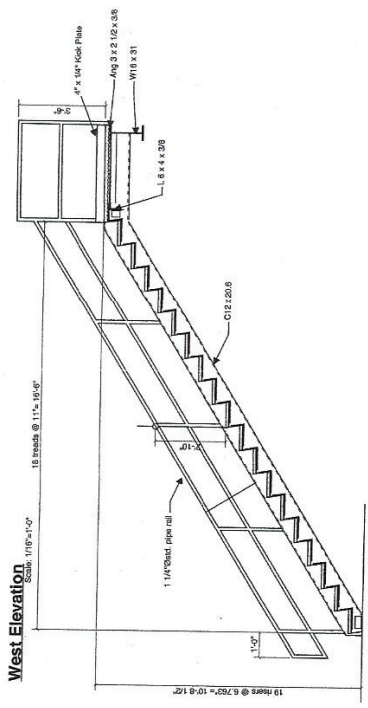
South Elevation
Scale: 1/8"=1'-0"

North Elevation
Scale: 1/8"=1'-0"

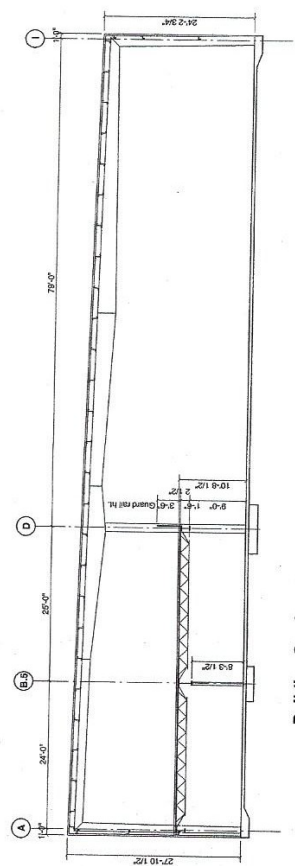


West Elevation
Scale: 1/16"=1'-0"

East Elevation
Scale: 1/16"=1'-0"

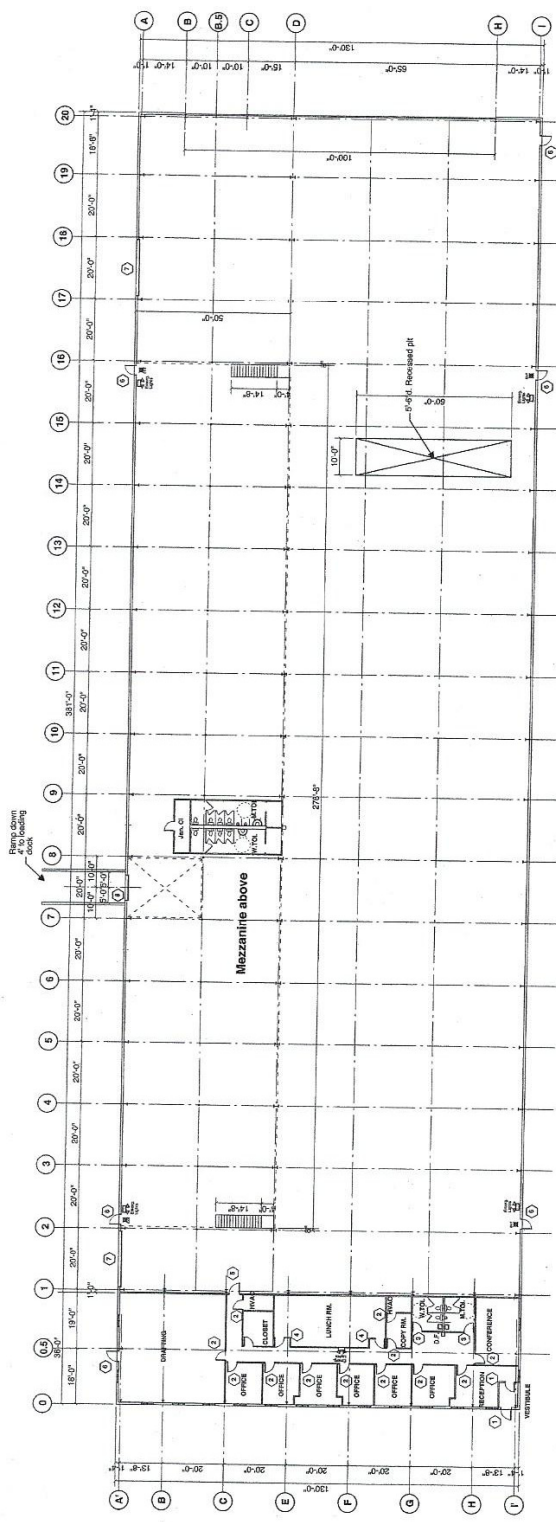


Typical Mezzanine Stair Detail
Scale: 1/2"=1'-0"



Building Section
Scale: 1/8"=1'-0"

Project No.	97.008	Sheet No.	A2
Client	CHAS. LA. SARGENT & JACOBSON ARCHITECTS INC. Ladysmith, WI	Scale	AS SHOWN
Drawn by	W. J. WILSON	Checked by	W. J. WILSON
Date	7-25-2005		



Floor Plan
Scale: 1/8" = 1'-0"

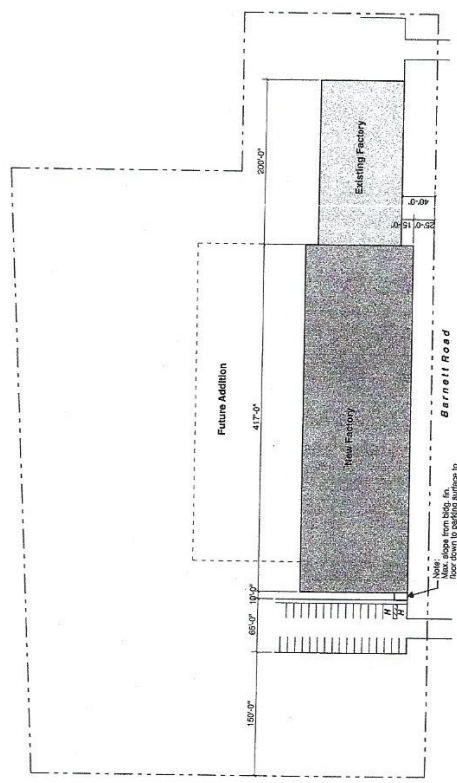
General Notes:
 All Hot Water Heating and Heating Equip. are to be UL-48 approved.
 The entire main floor is to be finished, especially including stairs and core, walls leading from handicapped parking spaces to maximum 7.5' travel.
 The Owner is to provide 2 fire extinguishers and cabinets at a location indicated on plan. All to be installed and power supply.

MARK	QTY.	SIZE	TYPE	LEVEL	REVISIONS
1	1	3'-4" x 7'-0"	SI LAMINATE	1	
1A	1	3'-4" x 7'-0"	SI LAMINATE	1	
2	2	2'-0" x 8'-0"	WOOD TRIM	2	
3	2	2'-0" x 8'-0"	WOOD TRIM	3	
4	2	2'-0" x 6'-0"	WOOD TRIM	4	
5	2	2'-0" x 6'-0"	WOOD TRIM	5	
6	1	2'-0" x 7'-0"	WOOD TRIM	6	
7	1	16'-0" x 16'-0"	OVERHEAD DOOR	7	
8	1	8'-0" x 8'-0"	OVERHEAD DOOR	8	

REVISIONS:
 1. Add door to office.
 2. Change door size.
 3. Add door to office.
 4. Change door size.
 5. Add door to office.
 6. Change door size.
 7. Add door to office.
 8. Change door size.

Typical Wall Construction/Finishes:
 All areas to be except toilet rooms. Toilet rooms are to be sheet vinyl.
 All areas to be wood base, except at vinyl tile floors. Bathrooms are to be vinyl base.
 Wall Finish:
 All walls to be constructed with 2 1/2" thick studs, single top plates, metal all and outside air. These interior walls are to be gypsum wall board, 5/8" thick, with a 2 1/2" wood base. All top plates, base plates and trim are to be 2 1/2" wood base. All top plates, base plates and trim are to be primed and painted.
 Ceiling Finish:
 All ceilings to be 5/8" gypsum board attached to underside of rigid structure, primed and painted two coats latex, eggshell paint. Toilet rooms are to be 2 x 2 lay-in vinyl coated gym. board and grid.

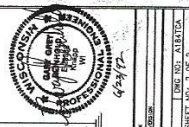
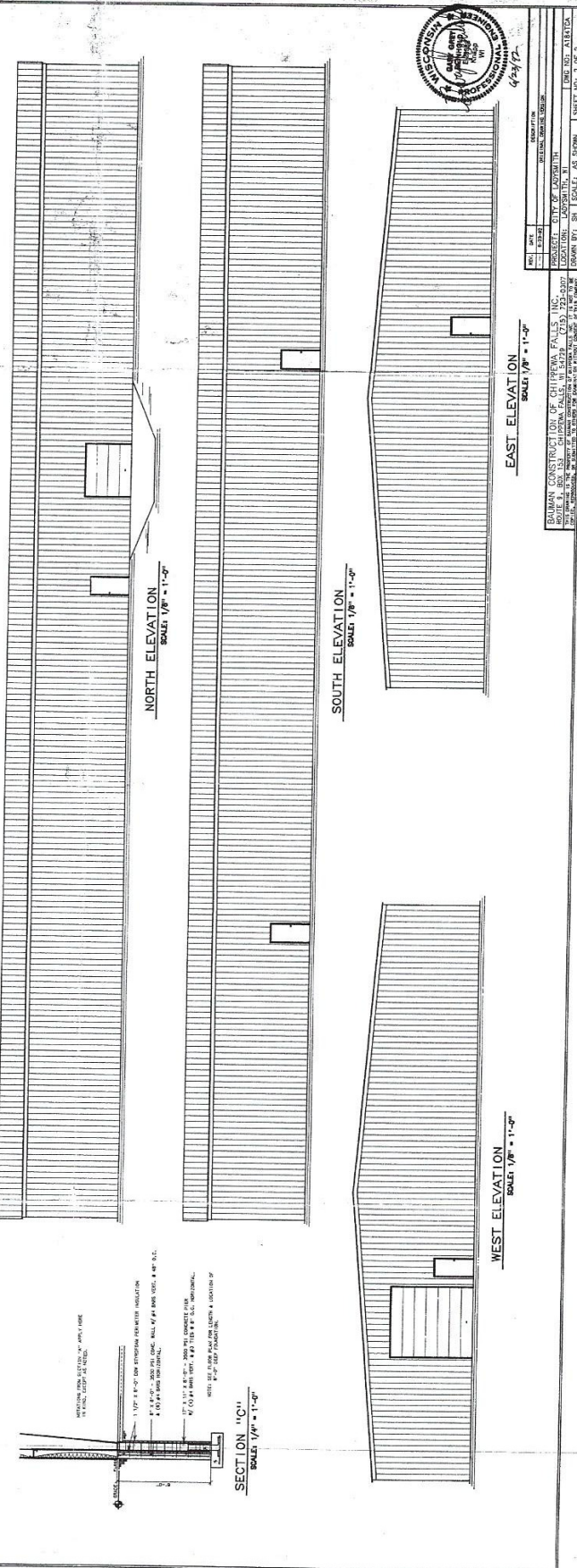
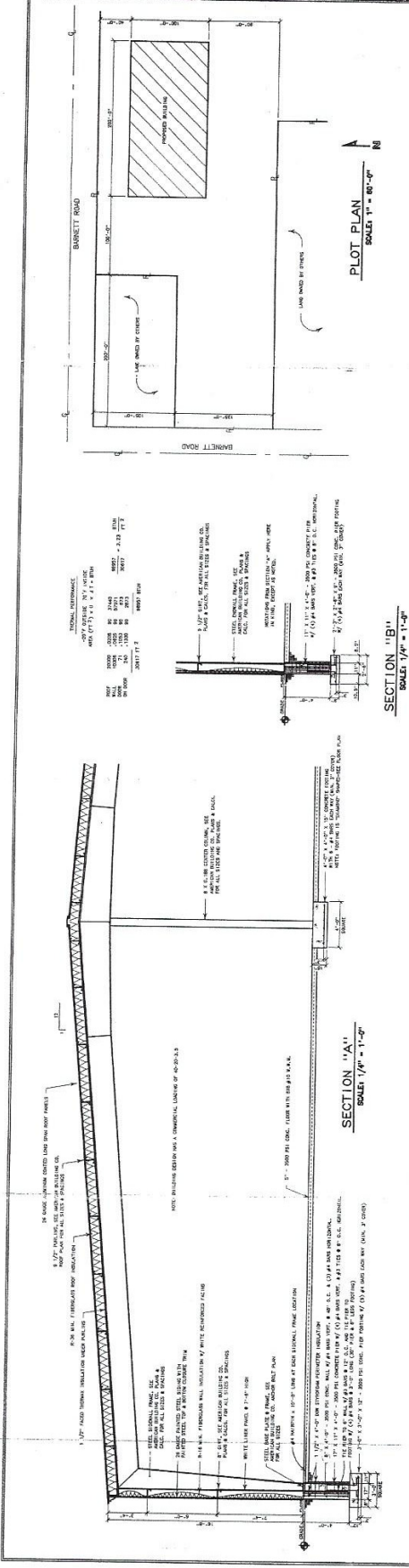
DRAWING INDEX	
A1	FLOOR PLAN/SECTION
A2	ELEVATIONS/SECTIONS
A3	FOUNDATION PLAN
A4	DETAIL PLANS & ELEVATIONS
A5	MEZZANINE PLAN & DETAILS



Site Plan
Scale: 1/8" = 1'-0"

Code Information:
 20,000 sq. ft. New Main floor
 54,000 sq. ft. Existing
 78,000 sq. ft. Total
 88,000 sq. ft. Total
 Occupancy: Factory, Chapter 64
 Construction: Type II, Metal frame, unprotected, ultimate area, fully sprinkled.

Project No.: 97.008
 Sheet No.: A1
 Project: NORSE BUILDING SYSTEMS
 Architect: CHRIS LA SORRE
 1443 River Court, Suite 200
 La Crosse, WI 54601
 735-5265



DATE	NO.	DESCRIPTION
6/24/12	1	ISSUED FOR PERMITS
	2	REVISIONS
	3	REVISIONS
	4	REVISIONS
	5	REVISIONS
	6	REVISIONS
	7	REVISIONS
	8	REVISIONS
	9	REVISIONS
	10	REVISIONS

SAUMAN CONSTRUCTION OF CHIPPEWA FALLS, INC.
 301 NORTH W. ST. CHIPPewa FALLS, WISCONSIN 54926
 STATE OF WISCONSIN
 SAUMAN CONSTRUCTION OF CHIPPewa FALLS, INC. PROJECT: CITY OF LAKEWAUKEE
 LOCATION: LAKEWAUKEE, WI
 DRAWN BY: SAU SCALE: AS SHOWN SHEET NO. 2 OF 2

DISCLOSURE OF REAL ESTATE AGENCY - C

1 THIS DISCLOSURE IS BEING PROVIDED BY AFT Real Estate, Inc. and
2 Firm Name▲
3 Allen F. Taft/Donald J. Myers WHO ARE WORKING AS: Owner's Agent Buyer's/Tenant's Agent
4 Sales Associate▲

5 Wisconsin Statute § 452.135 requires that brokers provide a written agency disclosure form containing a disclosure of duties owed to all parties,
6 the duties owed to the broker's client, a statement regarding confidentiality and a statement of which party(ies) the broker represents, before
7 providing brokerage services to a party. This form is being provided to comply with that requirement.

DUTIES TO ALL PARTIES

- 8 Wisconsin Statute section 452.133(1) states that in providing brokerage services to a party to a transaction (including
9 both clients and customers), a broker shall do all of the following:
10 (a) Provide brokerage services to all parties to the transaction honestly, fairly and in good faith.
11 (b) Diligently exercise reasonable skill and care in providing brokerage services to all parties.
12 (c) Disclose to each party all material adverse facts that the broker knows and that the party does not know or cannot discover through
13 reasonably vigilant observation, unless the disclosure of a material adverse fact is prohibited by law.
14 (d) Keep confidential any information given to the broker in confidence, or any information obtained by the broker that he or she knows a
15 reasonable party would want to be kept confidential, unless the information must be disclosed under (c) or Wis. Stats. sec. 452.23
16 (information contradicting third party inspection or investigation reports) or is otherwise required by law to be disclosed or the party
17 whose interests may be adversely affected by the disclosure specifically authorizes the disclosure of particular confidential information.
18 A broker shall continue to keep the information confidential after the transaction is complete and after the broker is no longer providing
19 brokerage services to the party.
20 (e) Provide accurate information about market conditions that affect a transaction, to any party who requests the information, within a
21 reasonable time of the party's request, unless disclosure of the information is prohibited by law.
22 (f) Account for all property coming into the possession of a broker that belongs to any party within a reasonable time of receiving the property.
23 (g) When negotiating on behalf of a party, present contract proposals in an objective and unbiased manner and disclose the advantages
24 and disadvantages of the proposals.

DUTIES TO A CLIENT

- 25 Wisconsin Statute section 452.133(2) states that in addition to his or her duties under lines 8 to 24, a broker providing
26 brokerage services to his or her client shall do all of the following:
27 (a) Loyal represent the client's interests by placing the client's interests ahead of the interests of any other party, unless loyalty to a client
28 violates the broker's duties under lines 8 to 24 or Wis. Stats. sec. 452.137(2) (duties to all clients in multiple representation situations).
29 (b) Disclose to the client all information known by the broker that is material to the transaction and that is not known by the client or
30 discoverable by the client through reasonably vigilant observation, except for confidential information (see lines 14 to 19) and other
31 information, the disclosure of which is prohibited by law.
32 (c) Fulfill any obligation required by the agency agreement, and any order of the client that is within the scope of the agency agreement,
33 that are not inconsistent with another duty that the broker has under this chapter or any other law.

CONFIDENTIALITY NOTICE TO CLIENTS AND CUSTOMERS

35 A BROKER IS REQUIRED TO MAINTAIN THE CONFIDENTIALITY OF ALL INFORMATION GIVEN TO THE BROKER IN CONFIDENCE AND
36 OF ALL INFORMATION OBTAINED BY THE BROKER THAT HE OR SHE KNOWS A REASONABLE PARTY WOULD WANT TO BE KEPT
37 CONFIDENTIAL, UNLESS THE INFORMATION IS REQUIRED TO BE DISCLOSED BY LAW (SEE LINES 14 TO 19). THE FOLLOWING
38 INFORMATION IS REQUIRED TO BE DISCLOSED BY LAW:

- 39 1) MATERIAL ADVERSE FACTS AS DEFINED IN SECTION 452.01(5g) OF THE WISCONSIN STATUTES.
40 2) ANY FACTS KNOWN BY THE BROKER THAT CONTRADICT ANY INFORMATION INCLUDED IN A WRITTEN INSPECTION
41 REPORT ON THE PROPERTY OR REAL ESTATE THAT IS THE SUBJECT OF THE TRANSACTION.

42 TO ENSURE THAT THE BROKER IS AWARE OF WHAT SPECIFIC INFORMATION YOU CONSIDER CONFIDENTIAL, YOU MAY LIST THAT
43 INFORMATION IN THE SPACE BELOW THAT IS MARKED "CONFIDENTIAL INFORMATION" AT A LATER TIME, YOU MAY ALSO PROVIDE
44 THE BROKER WITH OTHER WRITTEN NOTIFICATION OF WHAT INFORMATION YOU CONSIDER TO BE CONFIDENTIAL.

45 **IF YOU WISH TO IDENTIFY SPECIFIC INFORMATION AS CONFIDENTIAL PLEASE COMPLETE THE "CONFIDENTIAL INFORMATION"**
46 **SECTION BELOW AND RETURN TO BROKER.**

47 **CONFIDENTIAL INFORMATION:** _____
48 _____
49 _____
50 _____
51 _____
52 _____
53 _____

Notice: You may obtain information about the sex offender registry and persons registered with the registry by contacting the Wisconsin Department of Corrections on the Internet at <http://www.widocoffenders.org> or by phone at 877-234-0085.

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Drafted by: Attorney Richard J. Staff
No representation is made as to the legal validity of any provision or the adequacy of any provision in any specific transaction.